



COMMUNITY DEVELOPMENT DEPARTMENT

200 East Wood Street • Palatine, IL 60067-5339
Telephone (847) 359-9042
www.palatine.il.us

2026 LAWN SPRINKLER HANDOUT



Express permits are exclusively available online at our
Citizen Self Service Portal.

Please visit the link below to register and apply

<https://Citizen.palatine.il.us>

CONSTRUCTION REQUIREMENTS:

- Indicate polyethylene plastic pipe underground
- Type L copper shall be used for above ground water piping complete with lead free solder and installed by a licensed plumbing contractor.
- An R.P.Z valve shall be used. Indicate model # of R.P.Z. valve.
- All inside plumbing work, including the R.P.Z. valve shall be installed by a licensed plumber. R.P.Z. valve shall be certified and **registered with BSI** prior to final inspection.

• LOCATION:

- A residential lawn sprinkler system may be installed anywhere inside the property lines of a given parcel. However, a residential lawn sprinkler system shall not be installed in an existing utility easement, without the approval of all utility companies and attached hold harmless. It should be noted that if permission is granted by the utility companies and a sprinkler system is installed over an existing easement, the property owner is responsible for replacing the lawn sprinkler system if damaged by the utility companies needing access. **No irrigation lines or sprinkler heads are permitted within the public right-of-way or utility easement on or adjacent to the property unless the attached Hold Harmless is signed by the property owner.**

• CSS SUBMITTAL REQUIREMENTS

- Upload a copy of signed contract.
- Upload a copy of the equipment specifications.
- Upload a copy of your plat of survey showing the location of all sprinkler heads and R.P.Z. valve with respect to all buildings, lot lines and easements.
- The permit fee is \$103.00. The permit is good for 90 days from date of issuance.
- Permits may require a 5-day review
- Lawn Sprinkler contractor must be registered and bonded with the Village.
- Plumber must be registered and bonded with the Village.
- Letter of intent required from plumber

• INSPECTIONS

- Contractor or homeowner to be on site with stamped approved "job copy"
- Schedule the inspection through your CSS account

• The following inspections are required:

- R.P.Z valve must be certified by a licensed R.P.Z. contractor and **registered with BSI** prior to final inspection.
- BSI may be contacted at (800) 414-4990
- Final inspection when work is completed – Inspector will require access to any components located in the house.

ADDITIONAL INFORMATION

Homeowner's Associations (HOA) may have covenants, conditions and restrictions that are more restrictive than the Village of Palatine's Zoning Ordinances. Therefore, it is the responsibility of the homeowner to acquire approval from their Homeowner's Association for any construction proposed under this building permit. The Village does not require HOA approval prior to issuing a permit



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HOLD HARMLESS RELEASE

Owner Name: _____

Project Address: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

The Village of Palatine hereby authorizes the installation of **brick pavers, ribbon curbs, colored and/or stamped decorative asphalt, colored and/or stamped decorative concrete, and/or a lawn sprinkler system** within the public right-of-way or utility easement on or adjacent to the property identified above, subject to the following terms and conditions:

1. The installation of any of the above-mentioned improvements is undertaken at the sole risk of the property owner, with no assurances of protection or preservation by the Village of Palatine.
2. The Village of Palatine assumes no responsibility for, and shall not be held liable for, any damage, maintenance, repair, or operational concerns arising from the installation, care, or use of these improvements.
3. Village of Palatine contractors, employees, and/or utility workers shall not be responsible for any damage to the installed improvements while performing work in the designated area.
4. The property owner agrees to release, hold harmless, and indemnify the Village of Palatine, its officers, employees, agents, and commissions from any and all claims, lawsuits, liabilities, expenses, or damages that may arise in connection with the presence of these improvements within the public right-of-way or utility easement.
5. The Village of Palatine and its contractors are under no obligation to reinstall, repair, or restore any of the above-mentioned improvements if they are damaged, displaced, or removed for any reason. The property owner assumes full responsibility for all costs associated with maintenance, repair, and/or reinstallation of these improvements.
6. In the event of a sale or transfer of the property, the Village of Palatine retains all rights stated herein, and these terms shall remain in effect and binding upon any subsequent property owner.
7. Installation within a utility easement will require a letter of permission from each utility company affected prior to permit issuance.

By proceeding with the installation, the property owner acknowledges and accepts these terms in full.

PROPERTY OWNERS SIGNATURE REQUIRED

I have read the above and agree to the terms outlined therein.

Owners Signature: _____ Date: _____



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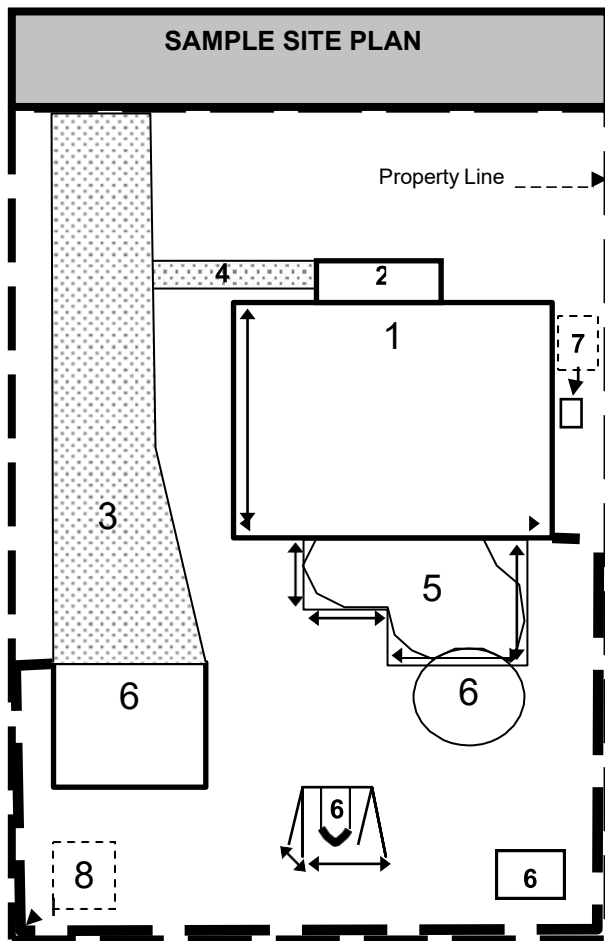
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PLAT OF SURVEY REQUIREMENTS

Submission Requirements for Zoning Review

Review by the Planning and Zoning Department is completed prior to the issuance of a permit. Zoning review checks for compliance of lot coverage and building coverage for all improvements on a parcel. Size, location (setbacks) and height of the proposed construction are also reviewed. In order for Staff to complete the zoning review, a scaled plat of survey shall be submitted with your permit application. On this plat of survey indicate the proposed construction and any additions to the property since the plat was drawn. This must be drawn to scale.

Information for all existing structures shall be included on your Site Plan. If your Plat does not include all of the applicable information, correct any deficiencies by adding any missing structures or paving to the Site Plan. Site Plans and Plats of Survey should be to scale.



Existing Structures:

Please note the dimensions and locations of:

1. Residence, including garage
2. Porches/stoops
3. Driveways - The width at the property line as well as the width at the widest point should be indicated.
4. Sidewalks
5. Patios or Decks - The height of the deck or patio shall be noted as measured from grade
6. Accessory structures, such as
 - Detached garages
 - Pools. Note if the pool is above ground, or in-ground, and any patios/deck surrounding it.
 - Sheds
 - Play equipment
7. A/C Units and Generators
8. Fences

Proposed Construction:

Indicate the location, setbacks from the residence and property line(s), and height.

Helpful Hints:

- A plat of survey notes the property as it existed at the time the survey was drawn. It is acceptable for you to update this plat of survey by drawing to scale any additions to the property since the plat was drawn. In addition to existing information, show the proposed work to scale.
- You can find dimensions of many structures on your property on your Plat of Survey.
- Irregular shaped structures, like patios or playground equipment, may be "boxed" as a simple way to indicate the approximate dimensions.
- Building Coverage is defined as all roofed structures (porches, garages, sheds) and any structure over 16 inches in height from grade (decks, patios, playground equipment, above ground pools).
- Lot Coverage consists of all structures included in the Building Coverage as well as any impervious surfaces (driveways, sidewalks, brick patios, etc.)
- If you have any questions regarding the zoning review submission requirements, please contact the Planning and Zoning Department at (847) 359-9042.