



BUILDING & INSPECTIONS DIVISION

200 East Wood Street • Palatine, IL 60067-5339
Telephone (847) 359-9042
www.palatine.il.us

2019 EXPRESS PERMIT APPLICATION RESIDENTIAL GENERATOR

PRINT CLEARLY. ILLEGIBLE AND/OR INCOMPLETE APPLICATIONS WILL BE RETURNED (this is a two sided application)

Property/Owner Information check if applicant

Project Address:
Owner Name: Day Phone: Eve Phone:
Owner Address: City: State: Zip:
Email Address:

Contractor Information (if applicable) check if applicant

Company Name:
Address: City: State: Zip:
Contact Name: Bus Phone: 24 Hr Phone:
Email Address:

Office Use

Table with columns for Planning/zoning, Building, and Engineering. Rows include Approved by, Date, Permit # B19-, Registered, Bond, Fee, and Date Issued.

RESIDENTIAL GENERATOR CONSTRUCTION REQUIREMENTS:

- Generators must be installed in accordance with manufacturer's specifications.
Generators must be located at least 5 feet from combustible walls, soffits and overhangs.
Generator exhaust end must be located at least five (5) feet away from any operable windows, doors and other such openings.
Generators must be installed on a level, non-combustible surface.
Manufactured supplied cable must be cut to proper length.

ZONING REQUIREMENTS:

- A generator must be located in either a rear or side yard unless such yards abut a street wherein said unit shall be located elsewhere.
In any required side yard or required rear yard permanent electric generators shall not project more than four (4) feet into the yard and maintain a minimum two (2) foot setback from any lot line.

SUBMITTAL REQUIREMENTS

- Completed application and copy of signed contract.
Submit 3 copies of the generator installation manual or installation diagram/spec sheet.
3 copies of fully dimensioned plat of survey and signed plat of survey accuracy affidavit form.
Indicate on plat of survey generator location, generator distance to lot line, home and windows, doors and openings.
Express Permits require a 3 day plan review.
The permit fee is \$88.00 for each item. The permit is good for 90 days from date of issuance.
Contractor must be registered and bonded with the Village.

CONSTRUCTION REQUIREMENTS:

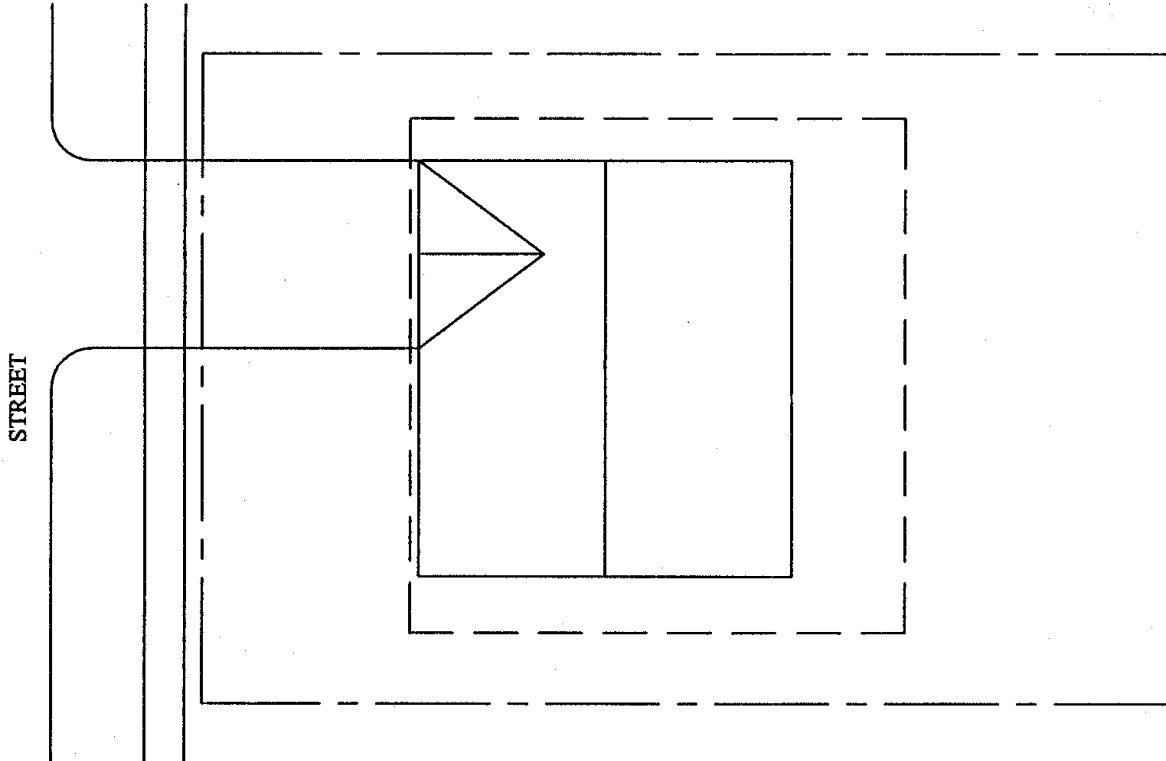
Complete diagrams on following page

Office Use

**CONSTRUCTION REQUIREMENTS:**

Gas piping:

- Indicate above ground or underground gas piping below:
- Indicate type of material and size of gas piping below:
- Indicate location of gas tie-in and valve locations below:



Electrical Connections:

- Provide a one line drawing illustrating detailed electrical connections below:



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**INSPECTIONS**

- **Electrical Contractor required to be on site with stamped approved "job copy"**
- Please call the Building Division at (847) 359-9042 at least 24 hours in advance to schedule an inspection.

**The following inspections are required:**

- Underground gas & electric
- Final inspection when work is completed – Inspector will require access to the electrical panel in the house.

**ADDITIONAL INFORMATION**

Homeowner's Associations (HOA) may have covenants, conditions and restrictions that are more restrictive than the Village of Palatine's Zoning Ordinances. Therefore, it is the responsibility of the homeowner to acquire approval from their Homeowner's Association for any construction proposed under this building permit. The Village does not require HOA approval prior to issuing a permit.

**Signatures**

I hereby certify to the correctness and accuracy of this application and all submitted information and agree to perform the above construction in strict compliance with all provisions of the Village of Palatine code of ordinances. It is my understanding that no error or omission in either the plans or application, whether said plans or application has been approved by the Community Services Department or not, shall permit or relieve the applicant from constructing the work in any other manner than that provided for in the ordinances of the Village relating therein. In addition, I hereby authorize the above listed contractors to perform all work necessary to complete the requirements of this permit. I also understand that the Code Official upon presentation of proper credentials may enter at reasonable times any building, structure or premises in the jurisdiction to perform any duty imposed upon him by such ordinances. Having read this application, the information handout, and fully understanding the intent thereof, I declare that the statements made are true to the best of my knowledge and belief.

**PROPERTY OWNERS SIGNATURE REQUIRED ON ALL APPLICATIONS AND CONTRACTS**

**Owner**

Print Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date \_\_\_\_\_

Check if applicant

**Contractor (Only required if applying for permit)**

Print Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date \_\_\_\_\_

Check if applicant



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**2019 PLAT OF SURVEY  
AFFIDAVIT/  
REQUIREMENTS  
1 OF 2**

**PROPERTY OWNER'S AFFIDAVIT OF PRESENT  
ACCURACY OF ATTACHED PLAT OF SURVEY**

**LEGAL DESCRIPTION: (ATTACHED SURVEY)**

I am the owner of record, of the property with the legal description as stated on the attached plat of survey. I hereby affirm that the survey attached hereto is the survey for said property, and that the attached survey accurately depicts the current conditions with all existing improvements to the property as of the date of this affidavit and provides the information as required per the **Submission Requirements for Zoning Review** (see other side).

In addition, I know of no assertion being made by any adjoining owner or by myself against them, as to the location of the property boundary lines or disputes as to occupancy of any portion of my property or their property.

I fully understand that in the event the attached survey does not accurately depict all existing improvements made to the property as of today's date, the Village of Palatine may elect to reject this plan and the permit for which I am applying shall not be approved (or work in progress pursuant to the permit will be stopped) until an accurate survey has been received and approved by the Village of Palatine.

**PROPERTY OWNERS SIGNATURE REQUIRED**

CERTIFIED BY:

Property Owner Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Please Print: \_\_\_\_\_

Property Address: \_\_\_\_\_

PIN #: \_\_\_\_\_

**For Office Use Only**

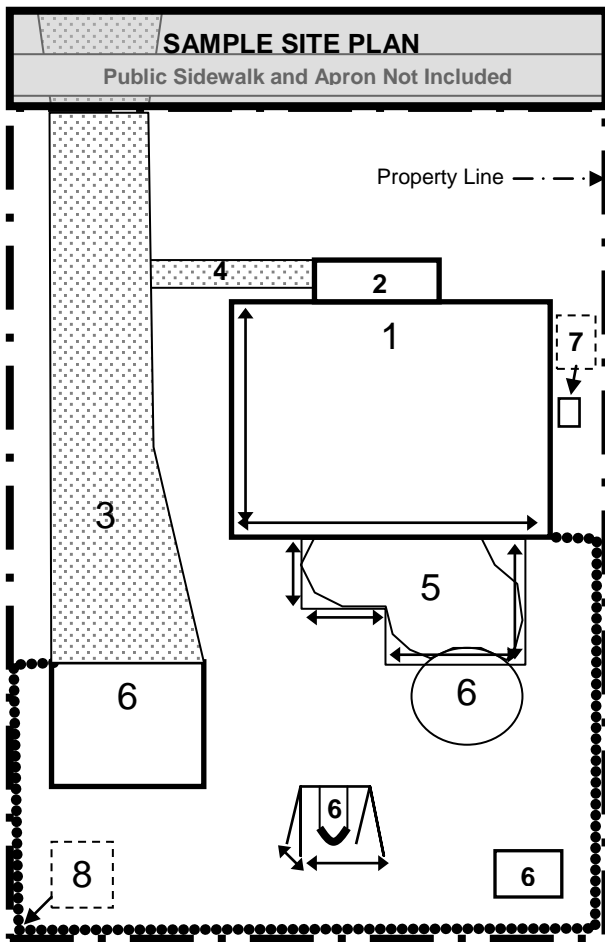
Permit Number: \_\_\_\_\_

Clerk Initials: \_\_\_\_\_

**Submission Requirements for Zoning Review**

Review by the Planning and Zoning Department is completed prior to the issuance of a permit. Zoning review checks for compliance of lot coverage and building coverage for all improvements on a parcel. Size, location (setbacks) and height of the proposed construction are also reviewed. In order for Staff to complete the zoning review, a scaled plat of survey shall be submitted with your permit application. On this plat of survey indicate the proposed construction and any additions to the property since the plat was drawn. This must be drawn to scale.

**Information for all existing structures shall be included on your Site Plan. If your Plat does not include all of the applicable information, correct any deficiencies by adding any missing structures or paving to the Site Plan. Site Plans and Plats of Survey should be to scale.**



**Existing Structures:**

Please note the dimensions and locations of:

1. Residence, including garage
2. Porches/stoops
3. Driveways - The width at the property line as well as the width at the widest point should be indicated.
4. Sidewalks
5. Patios or Decks - The height of the deck or patio shall be noted as measured from grade
6. Accessory structures, such as
  - Detached garages
  - Pools. Note if the pool is above ground, or in-ground, and any patios/deck surrounding it.
  - Sheds
  - Play equipment
7. A/C Units and Generators
8. Fences

**Proposed Construction:**

Indicate the location, setbacks from the residence and property line(s), and height.

**Helpful Hints:**

- A plat of survey notes the property as it existed at the time the survey was drawn. It is acceptable for you to update this plat of survey by drawing to scale any additions to the property since the plat was drawn. In addition to existing information, show the proposed work to scale.

- You can find dimensions of many structures on your property on your Plat of Survey.
- Irregular shaped structures, like patios or playground equipment, may be “boxed” as a simple way to indicate the approximate dimensions.
- Building Coverage is defined as all roofed structures (porches, garages, sheds) and any structure over 16 inches in height from grade (decks, patios, playground equipment, above ground pools).
- Lot Coverage consists of all structures included in the Building Coverage as well as any impervious surfaces (driveways, sidewalks, brick patios, etc.)

If you have any questions regarding the zoning review submission requirements, please contact the Planning and Zoning Department at (847) 359-9042.