



BUILDING & INSPECTIONS DIVISION

200 East Wood Street • Palatine, IL 60067-5339
Telephone (847) 359-9042
www.palatine.il.us

2019 EXPRESS PERMIT APPLICATION DECK

PRINT CLEARLY. ILLEGIBLE AND/OR INCOMPLETE APPLICATIONS WILL BE RETURNED (this is a two sided application)

Property/Owner Information check if applicant

Project Address:
Owner Name: Day Phone: Eve Phone:
Owner Address: City: State: Zip:
Email Address:

Contractor Information (if applicable) check if applicant

Company Name:
Address: City: State: Zip:
Contact Name: Bus Phone: 24 Hr Phone:
Email Address:

Office Use table with columns for Planning/zoning, Building, and Engineering. Includes rows for Approved by, Date, Registered, Bond, and Date Issued.

DECK CONSTRUCTION REQUIREMENTS:

- Decks may not cover basement windows, electric or gas meters, or vents.
All decks that are 30" or higher, require a continuous guard, 36" high.
All vegetation shall be removed from beneath the deck...
Joist hangers or ledger boards are required...
A special use permit is necessary if a proposed deck is in a floodplain...
Decks shall be installed on a frost protected foundation...
See attached check sheet for additional requirements.

ZONING REQUIREMENTS:

- A deck less than sixteen (16) inches above grade shall be situated a minimum distance of two (2) feet from all side and rear lot lines.
A deck sixteen inches or more above grade located adjacent to the residence is considered part of the principal structure...
Decks shall not be located in easements.

SUBMITTAL REQUIREMENTS

- Completed application and copy of signed contract.
Provide three (3) sets of complete construction details (plans/sections/elevations)
Three copies of fully dimensioned plat of survey showing proposed work...
Express permits require a 3 day plan review.
The permit fee is \$88.00. The permit is good for 90 days from date of issuance.
Contractor must be registered and bonded with the Village.

Please be sure to read and sign on following page

Office Use



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INSPECTIONS

- Contractor or homeowner to be on site with stamped approved "job copy"
- Please call the Building Division at (847) 359-9042 at least 24 hours in advance to schedule an inspection.

The following inspections are required:

- Pre pour of pier hole - pier hole inspection prior to pouring concrete
- Rough framing inspection - (prior to decking installation) required on all decks 48" or less above grade.
- Final inspection - when work is completed

ADDITIONAL INFORMATION

Homeowner's Associations (HOA) may have covenants, conditions and restrictions that are more restrictive than the Village of Palatine's Zoning Ordinances. Therefore, it is the responsibility of the homeowner to acquire approval from their Homeowner's Association for any construction proposed under this building permit. The Village does not require HOA approval prior to issuing a permit.

Signatures

I hereby certify to the correctness and accuracy of this application and all submitted information and agree to perform the above construction in strict compliance with all provisions of the Village of Palatine code of ordinances. It is my understanding that no error or omission in either the plans or application, whether said plans or application has been approved by the Community Services Department or not, shall permit or relieve the applicant from constructing the work in any other manner than that provided for in the ordinances of the Village relating therein. In addition, I hereby authorize the above listed contractors to perform all work necessary to complete the requirements of this permit. I also understand that the Code Official upon presentation of proper credentials may enter at reasonable times any building, structure or premises in the jurisdiction to perform any duty imposed upon him by such ordinances. Having read this application, the information handout, and fully understanding the intent thereof, I declare that the statements made are true to the best of my knowledge and belief.

PROPERTY OWNERS SIGNATURE REQUIRED ON ALL APPLICATIONS AND CONTRACTS

Owner

Print Name: _____ Signature: _____ Date _____

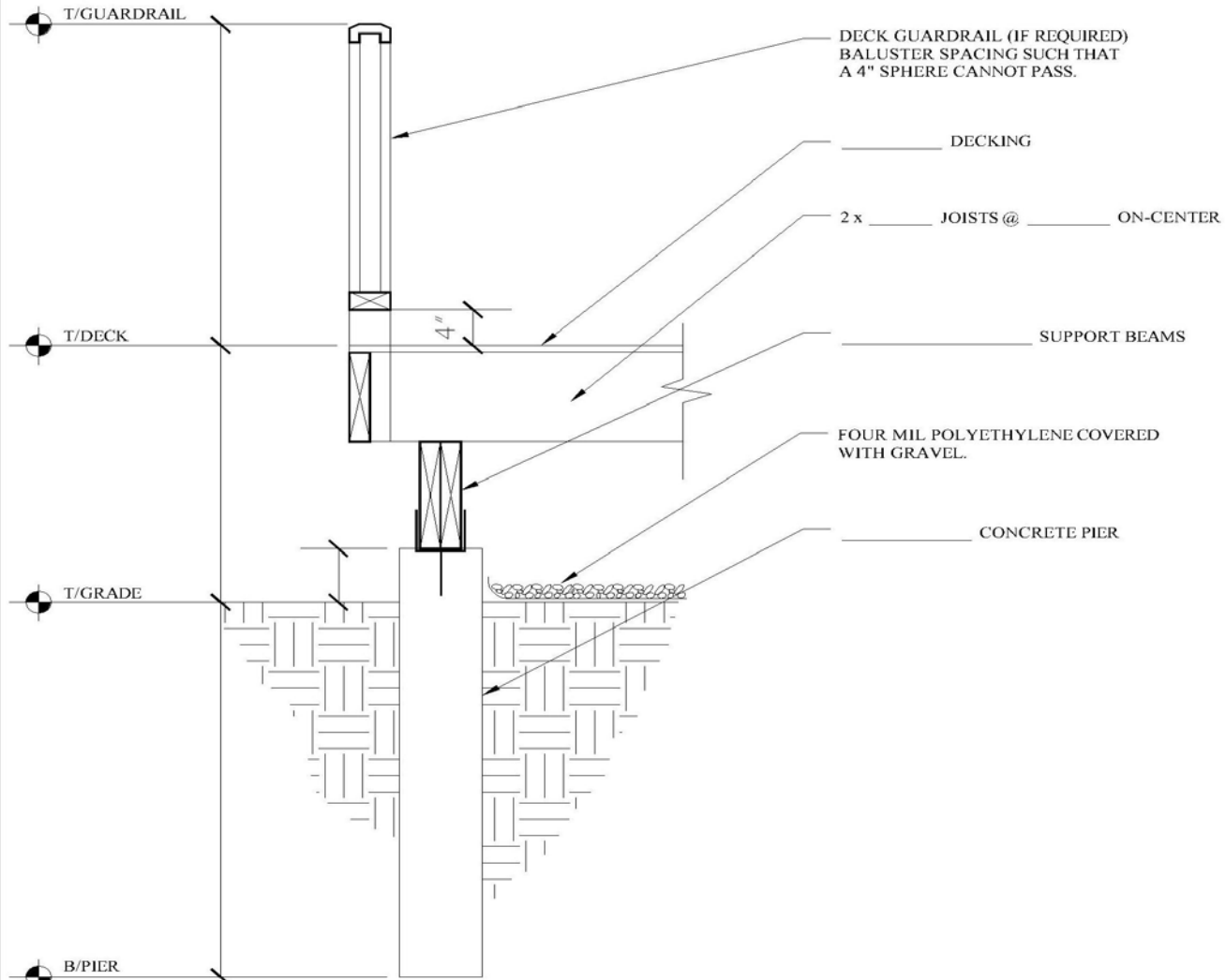
Check if applicant

Contractor

Print Name: _____ Signature: _____ Date _____

Check if applicant

DECK CONSTRUCTION CHECK SHEET



CONCRETE PIERS

CONCRETE PIERS ARE POSTS BUILT INTO THE GROUND. CONCRETE PIERS MUST BE AT LEAST 42" BELOW GRADE AND 6" ABOVE GRADE. CONCRETE PIERS SHALL BE SIZED AND SPACED BASED ON THE LOADS.

BEAMS

BEAMS ARE A BOARD OR BUILT-UP BOARDS SPANNING FROM ONE PIER TO ANOTHER. THEIR PURPOSE IS TO SUPPORT THE FLOOR JOISTS. BEAMS SHALL BE SIZED AND SPACED BASED ON THE LOADS AND SPANS.

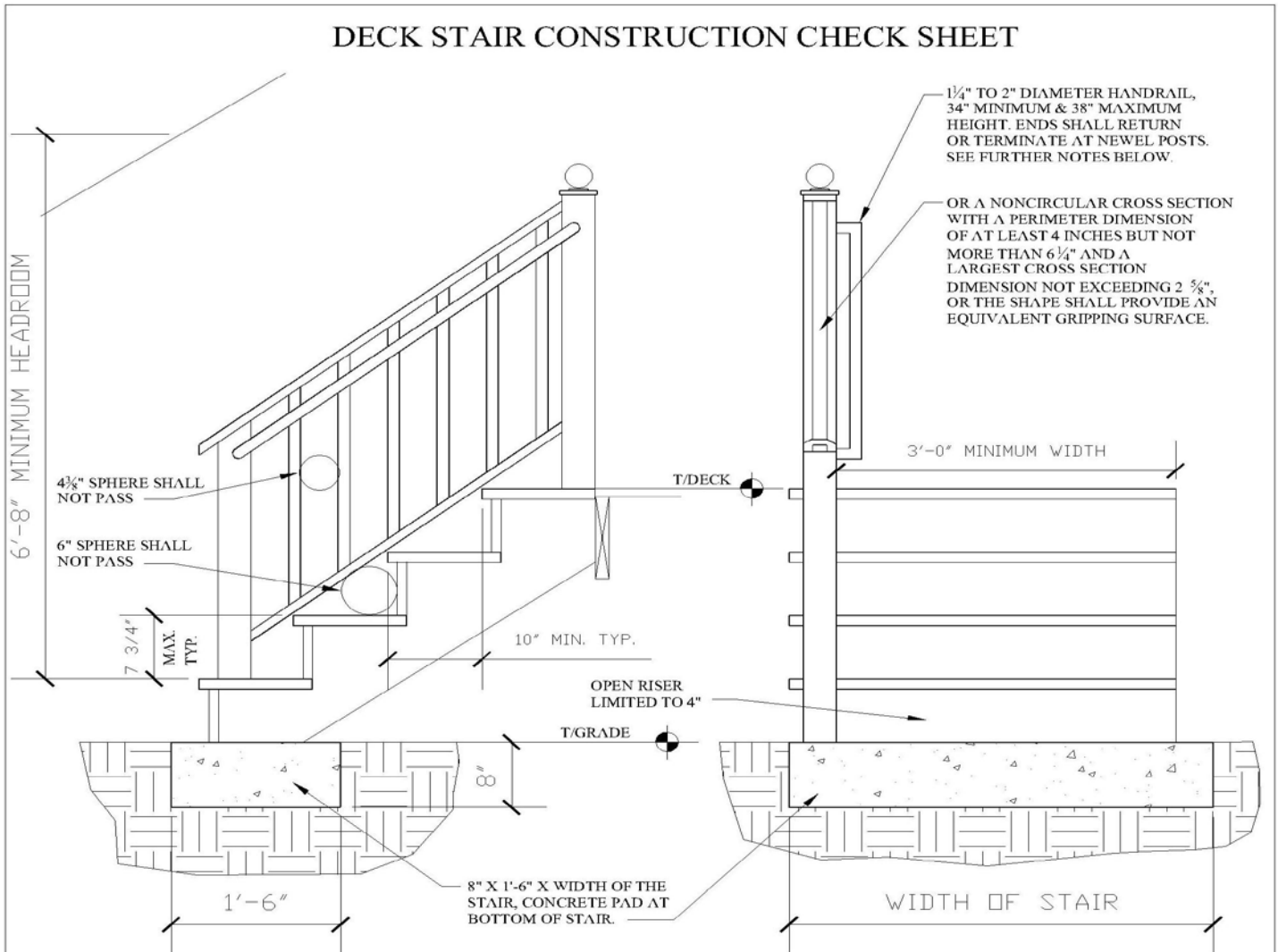
JOISTS

JOISTS RUN PERPENDICULAR TO THE BEAMS AND ARE INTENDED TO SUPPORT THE DECK AND DISTRIBUTE THE LOADS PLACED ON THE DECK DOWN TO THE BEAMS. JOISTS SHALL BE SIZED AND SPACED BASED ON THE LOADS AND SPANS.

LEDGER BOARD

- *CANNOT BE ATTACHED THROUGH MASONRY VENEER.
- *MUST BE ATTACHED WITH 1/2" BOLTS SPACED AS PER ATTACHED TABLE OR WITH APPROVED HOLD-DOWN DEVICE.
- IF NOT POSSIBLE, DECK MUST BE DESIGNED AS SELF-SUPPORTING.
- *FLASHING MUST BE INSTALLED
- *MINIMUM SIZE OF LEDGER BOARD 2X8.

DECK STAIR CONSTRUCTION CHECK SHEET



HANDRAILS AND GUARDRAILS

HANDRAILS: HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS OF FOUR OR MORE RISERS.

ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.

HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL

HANDRAILS SHALL HAVE EITHER A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1-1/4 INCHES TO 2 INCHES, OR A NONCIRCULAR CROSS-SECTION WITH A PERIMETER DIMENSION OF AT LEAST 4 INCHES BUT NOT MORE THAN 6-1/4 INCHES AND A LARGEST CROSS-SECTION DIMENSION NOT EXCEEDING 2-5/8 INCHES, OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8 INCH.

GUARDRAILS: PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.

REQUIRED GUARDRAILS ON OPEN SIDES OF RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES OR MORE IN DIAMETER. REQUIRED GUARDRAILS ON OPEN SIDE OF STAIRS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4-3/8 INCHES OR MORE.

ILLUMINATION:

R303.6 STAIR MUST BE ILLUMINATED. SHOW EXISTING OR NEW.

LEDGER BOARD FASTENERS: SHOW ON PLANS

Ledger board fasteners shall be installed in accordance with FIGURE 1 and the spacing in TABLE R502.2.2.1. Deck ledgers shall not be supported on stone or masonry veneer. Only those fastener types noted herein are approved for use. The ledger board must be installed at the time of the footing/pier hole inspection; adequacy of connections will be verified by your inspector.

ALTERNATE ATTACHMENT OPTIONS: SHOW ON PLANS

1. Hold-down devices attached to interior floor joists
2. Self-supporting deck design

If a ladder is required to access the ledger board, one must be provided by the property owner, permit holder, or their representative.

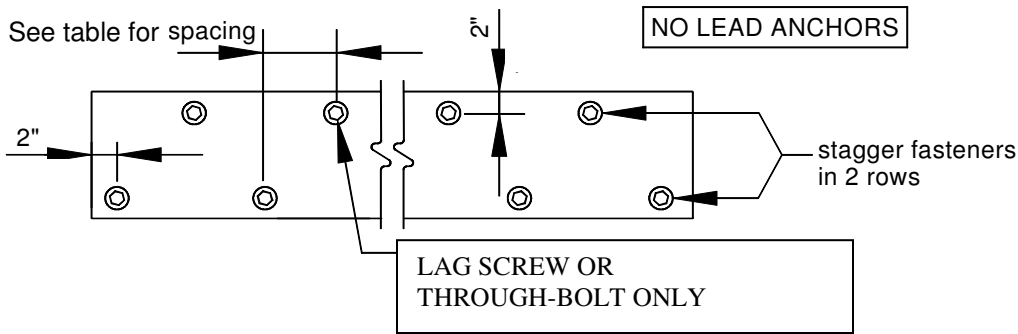


TABLE R502.2.2.1: LEDGER BOARD FASTENER SPACING

2009 International Residential Code, Copyright 2009, Washington, DC: International Code Council. Reproduced with permission. All rights reserved. www.iccsafe.org

TABLE R502.2.2.1
FASTENER SPACING FOR A SOUTHERN PINE OR HEM-FIR DECK LEDGER
AND A 2-INCH NOMINAL SOLID-SAWN SPRUCE-PINE-FIR BAND JOIST^{c, f, g}
 (Deck live load = 40 psf, deck dead load = 10 psf)

JOIST SPAN	6'-0" and Less	6'-1" to 8'-0"	8'-1" to 10'-0"	10'-1" to 12'-0"	12'-1" to 14'-0"	14'-1" to 16'-0"	16'-1" to 18'-0"
Connection Details	On-Center Spacing of Fasteners ^{d, e}						
1/2" diameter lag screw with 15/32" maximum sheathing ^a	30	23	18	15	13	11	10
1/2" diameter bolt with 15/32" maximum sheathing	36	36	34	29	24	21	19
1/2" diameter bolt with 15/32" maximum sheathing and 1/2" stacked washers ^{b, h}	36	36	29	24	21	18	16

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm. 1 pound per square foot = 0.0479kPa.

- A. The tip of the lag screw shall fully extend beyond the inside face of the band joist.
- B. The maximum gap between the face of the ledger board and face of the wall sheathing shall be 1/2".
- C. Ledgers shall be flashed to prevent water from contacting the house band joist.
- D. Lag screws and bolts shall be staggered in accordance with Section R502.2.2.1.1.
- E. Deck ledger shall be minimum 2" x 8" pressure-preservative-treated No.2 grade lumber, or other approved materials as established by standard engineering practice.
- F. When solid-sawn pressure-preservative-treated deck ledgers are attached to a minimum 1 inch thick engineered wood product (structural composite lumber, lami-nated veneer lumber or wood structural panel band joist), the ledger attachment shall be designed in accordance with accepted engineering practice.
- G. A minimum 1 x 9 1/2" Douglas Fir laminated veneer lumber rimboard shall be permitted in lieu of the 2-inch nominal band joist.
- H. Wood structural panel sheathing, gypsum board sheathing or foam sheathing not exceeding 1 inch in thickness shall be permitted. The maximum distance between the face of the ledger board and the face of the band joist shall be 1 inch.



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**PROPERTY OWNER'S AFFIDAVIT OF PRESENT
ACCURACY OF ATTACHED PLAT OF SURVEY**

LEGAL DESCRIPTION: (ATTACHED SURVEY)

I am the owner of record, of the property with the legal description as stated on the attached plat of survey. I hereby affirm that the survey attached hereto is the survey for said property, and that the attached survey accurately depicts the current conditions with all existing improvements to the property as of the date of this affidavit and provides the information as required per the **Submission Requirements for Zoning Review** (see other side).

In addition, I know of no assertion being made by any adjoining owner or by myself against them, as to the location of the property boundary lines or disputes as to occupancy of any portion of my property or their property.

I fully understand that in the event the attached survey does not accurately depict all existing improvements made to the property as of today's date, the Village of Palatine may elect to reject this plan and the permit for which I am applying shall not be approved (or work in progress pursuant to the permit will be stopped) until an accurate survey has been received and approved by the Village of Palatine.

PROPERTY OWNERS SIGNATURE REQUIRED

CERTIFIED BY:

Property Owner Signature: _____

Date: _____

Please Print: _____

Property Address: _____

PIN #: _____

For Office Use Only

Permit Number: _____

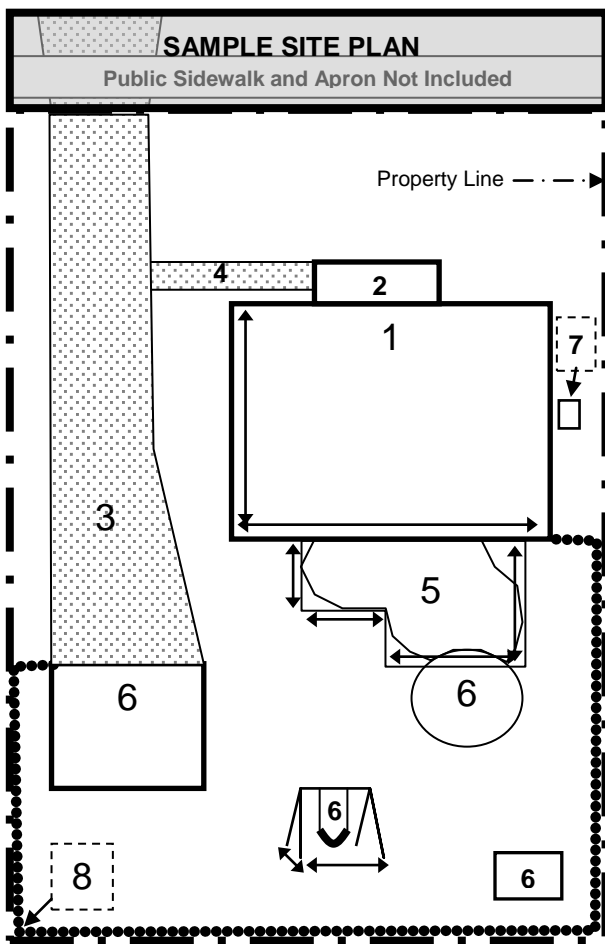
Clerk Initials: _____

SEE OTHER SIDE

Submission Requirements for Zoning Review

Review by the Planning and Zoning Department is completed prior to the issuance of a permit. Zoning review checks for compliance of lot coverage and building coverage for all improvements on a parcel. Size, location (setbacks) and height of the proposed construction are also reviewed. In order for Staff to complete the zoning review, a scaled plat of survey shall be submitted with your permit application. On this plat of survey indicate the proposed construction and any additions to the property since the plat was drawn. This must be drawn to scale.

Information for all existing structures shall be included on your Site Plan. If your Plat does not include all of the applicable information, correct any deficiencies by adding any missing structures or paving to the Site Plan. Site Plans and Plats of Survey should be to scale.



Existing Structures:

Please note the dimensions and locations of:

1. Residence, including garage
2. Porches/stoops
3. Driveways - The width at the property line as well as the width at the widest point should be indicated.
4. Sidewalks
5. Patios or Decks - The height of the deck or patio shall be noted as measured from grade
6. Accessory structures, such as
 - Detached garages
 - Pools. Note if the pool is above ground, or in-ground, and any patios/deck surrounding it.
 - Sheds
 - Play equipment
7. A/C Units and Generators
8. Fences

Proposed Construction:

Indicate the location, setbacks from the residence and property line(s), and height.

Helpful Hints:

- A plat of survey notes the property as it existed at the time the survey was drawn. It is acceptable for you to update this plat of survey by drawing to scale any additions to the property since the plat was drawn. In addition to existing information, show the proposed work to scale.

- You can find dimensions of many structures on your property on your Plat of Survey.
- Irregular shaped structures, like patios or playground equipment, may be “boxed” as a simple way to indicate the approximate dimensions.
- Building Coverage is defined as all roofed structures (porches, garages, sheds) and any structure over 16 inches in height from grade (decks, patios, playground equipment, above ground pools).
- Lot Coverage consists of all structures included in the Building Coverage as well as any impervious surfaces (driveways, sidewalks, brick patios, etc.)

If you have any questions regarding the zoning review submission requirements, please contact the Planning and Zoning Department at (847) 359-9042.