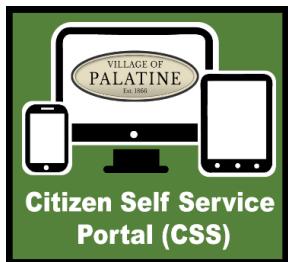




COMMUNITY DEVELOPMENT DEPARTMENT

200 East Wood Street Palatine, IL 60067
Telephone (847) 359-9042
www.palatine.il.us

2026 DECK/GAZEBO/ PERGOLA HANDOUT



Express permits are exclusively available online at our Citizen Self Service Portal.
Please visit the link below to register and apply
<https://Citizen.palatine.il.us>

STRUCTURE CONSTRUCTION REQUIREMENTS:

- All decks shall comply with 2021 International Residential Code section R507 Exterior Decks
- Structures may not cover basement windows, electric or gas meters, or vents. Identify their location on the drawing if in the general vicinity of the deck.
- All structures that are 30" or higher, require a continuous guard, 36" high. Baluster spacing shall be such that a 4" sphere cannot pass through any opening.
- All vegetation shall be removed from beneath the structure, and the ground covered with a weed blocking fabric or plastic sheeting which should then be covered with gravel.
- Joist hangers or ledger boards are required and where the structure is supported by attachment to an exterior wall, they shall be positively anchored to the primary structure and designed for both vertical and lateral loads.
- A special use permit is necessary if a proposed structure is in a floodplain and no portion of a structure may be in an easement.
- Attached decks shall be installed on a frost protected foundation
- See attached check sheet for additional requirements.

ZONING REQUIREMENTS:

- A deck less than sixteen (16) inches above grade shall be situated a minimum distance of two (2) feet from all side and rear lot lines. Decks in a front or corner side yard shall be situated a minimum distance of five (5) feet from the front and corner side lot lines.
- A deck sixteen inches or more above grade located adjacent to the residence is considered part of the principal structure and must meet the house setback and lot coverage requirements for the zoning district in which it is located.
- Structures shall not be located in easements.
- Please contact the Planning and Zoning Department directly for information on gazebo and pergola locations.

CSS SUBMITTAL REQUIREMENTS

- Upload a copy of signed contract.
- Upload a set of complete construction details (plans/sections/elevations)
- Upload a copy of fully dimensioned plat of survey showing proposed work with all setbacks
- Express permits require a 5-day plan review.
- The permit fee is \$103.00. The permit is good for 90 days from date of issuance.
- Contractor must be registered and bonded with the Village.

INSPECTIONS

- Contractor or homeowner to be on site with stamped approved "job copy"
- Schedule the inspection(s) through your CSS account

The following inspections are required:

- Pre pour of pier hole - pier hole inspection prior to pouring concrete
- Rough framing inspection - (prior to decking installation) required on all decks 48" or less above grade.
- Final inspection - when work is completed

ADDITIONAL INFORMATION

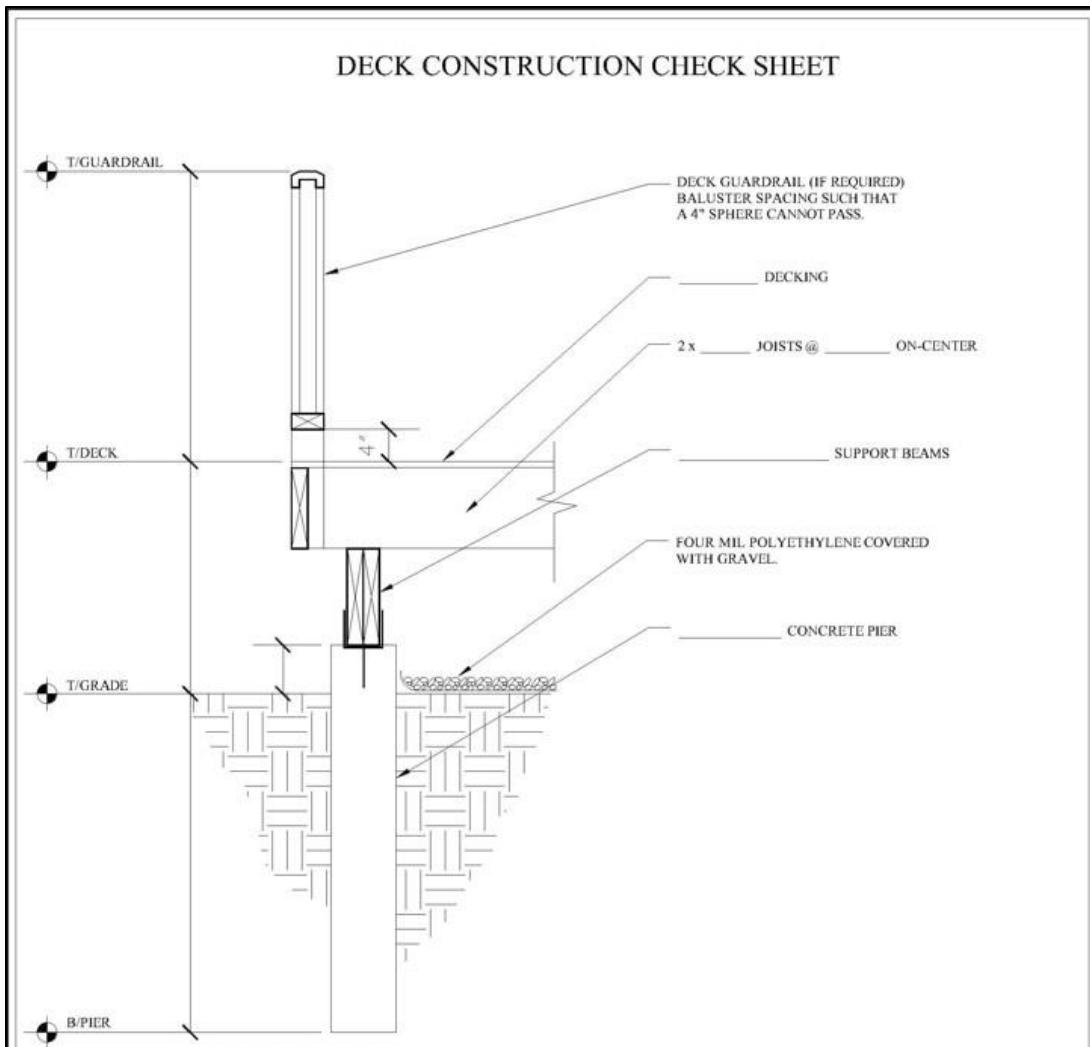
Homeowner's Associations (HOA) may have covenants, conditions and restrictions that are more restrictive than the Village of Palatine's Zoning Ordinances. Therefore, it is the responsibility of the homeowner to acquire approval from their Homeowner's Association for any construction proposed under this building permit. The Village does not require HOA approval prior to issuing a permit.



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Show on plans

Concrete Piers

Concrete piers/footings must be at least 42" below grade where decks are attached to a frost-protected structure.

Beams

Beams are a board or built-up boards spanning from one pier to another. Their purpose is to support the floor joists. Beams shall be sized and spaced based on the loads and spans.

Joists

Joists run perpendicular to the beams and are intended to support the deck and distribute the loads placed on the deck down to the beams. Joists shall be sized and spaced based on the loads and spans.

Ledger Board

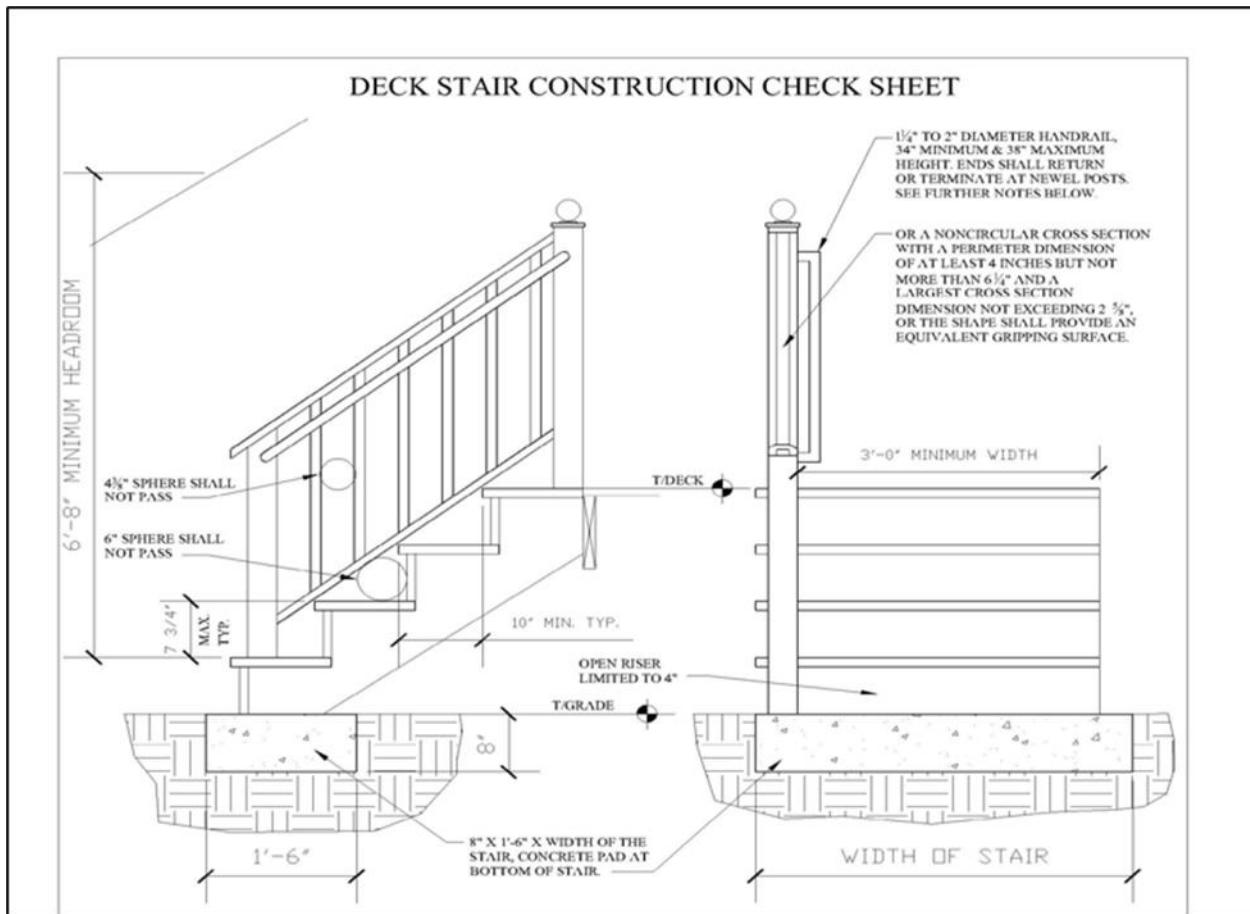
- Cannot be attached to masonry veneer
- Must be attached with $\frac{1}{2}$ " bolts spaced per the attached table or with approved hold-down device
- Flashing must be installed
- Minimum size of ledger board 2x8



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HANDRAILS AND GUARDRAILS: Show on plans

HANDRAILS: Handrails having minimum and maximum heights of 34 inches and 38 inches respectively, measured vertically from the nosing of the treads, shall be provided on at least one side of stairways of four or more risers.

All required handrails shall be continuous the full length of the stairs. Ends shall be returned or shall terminate in newel posts or safety terminals.

Handrails adjacent to a wall shall have a space of not less than 1-1/2 inches between the wall and the handrail.

Handrails shall have either a circular cross section with a diameter of 1-1/4 inches to 2 inches, or a noncircular cross-section with a perimeter dimension of at least 4 inches but not more than 6-1/4 inches and a largest cross-section dimension not exceeding 2-5/8 inches, or the shape shall provide an equivalent gripping surface. Edges shall have a minimum radius of 1/8 inch.

GUARDRAILS: Porches, balconies or raised floor surfaces located more than 30 inches above the floor or grade below shall have guardrails not less than 36 inches in height. Open sides of stairs with a total rise of more than 30 inches above the floor or grade below shall have guardrails not less than 34 inches in height measured vertically from the nosing of the treads.

Required guardrails on open sides of raised floor areas, balconies and porches shall have intermediate rails or ornamental closures which do not allow passage of a sphere 4 inches or more in diameter. Required guardrails on open side of stairs shall have intermediate rails or ornamental closures which do not allow passage of a sphere 4 3/8 inches or more.

ILLUMINATION:

R303.8 Stair must be illuminated. Show existing or new.



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2026 DECK/GAZEBO/ PERGOLA HANDOUT

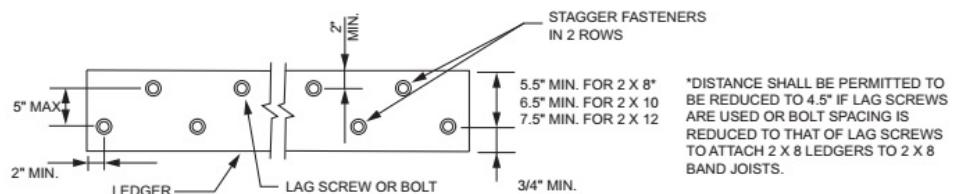
LEDGER BOARD FASTENERS: SHOW ON PLANS

Ledger board fasteners shall be installed in accordance with FIGURE 507.9.1.3(1) and the spacing in TABLE R507.9.1.3(2). Deck ledgers shall not be supported on stone or masonry veneer. Only those fastener types noted herein are approved for use. The ledger board must be installed at the time of the footing/pier hole inspection; adequacy of connections will be verified by the inspector.

ALTERNATE ATTACHMENT OPTIONS: SHOW ON PLANS

1. Hold-down devices attached to interior floor joists
2. Self-supporting deck design

If a ladder is required to access the ledger board, one must be provided by the property owner, permit holder, or their representative.



For SI: 1 inch = 25.4 mm.

FIGURE R507.9.1.3(1) PLACEMENT OF LAG SCREWS AND BOLTS IN LEDGERS

TABLE R507.9.1.3(2) PLACEMENT OF LAG SCREWS AND BOLTS IN DECK LEDGERS AND BAND JOISTS

	MINIMUM END AND EDGE DISTANCES AND SPACING BETWEEN ROWS			
	TOP EDGE	BOTTOM EDGE	ENDS	ROW SPACING
Ledger ^a	2 inches ^d	3/4 inch	2 inches ^b	1 5/8 inches ^b
Band Joist ^c	3/4 inch	2 inches	2 inches ^b	1 5/8 inches ^b

For SI: 1 inch = 25.4 mm.

a. Lag screws or bolts shall be staggered from the top to the bottom along the horizontal run of the deck ledger in accordance with Figure R507.9.1.3(1).

b. Maximum 5 inches.

c. For engineered rim joists, the manufacturer's recommendations shall govern.

d. The minimum distance from bottom row of lag screws or bolts to the top edge of the ledger shall be in accordance with Figure R507.9.1.3(1).





COMMUNITY DEVELOPMENT DEPARTMENT

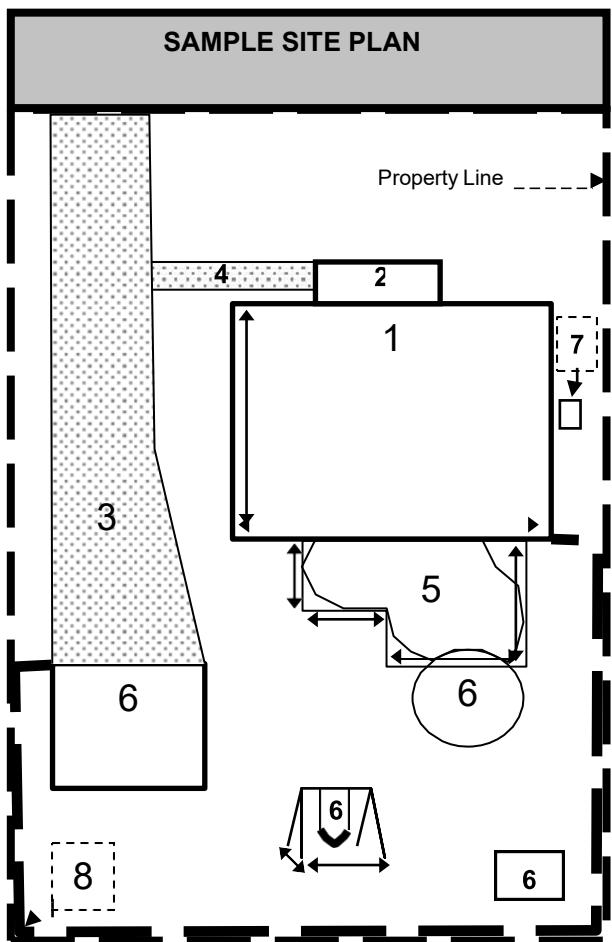
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PLAT OF SURVEY REQUIREMENTS

Submission Requirements for Zoning Review

Review by the Planning and Zoning Department is completed prior to the issuance of a permit. Zoning review checks for compliance of lot coverage and building coverage for all improvements on a parcel. Size, location (setbacks) and height of the proposed construction are also reviewed. In order for Staff to complete the zoning review, a scaled plat of survey shall be submitted with your permit application. On this plat of survey indicate the proposed construction and any additions to the property since the plat was drawn. This must be drawn to scale.

Information for all existing structures shall be included on your Site Plan. If your Plat does not include all of the applicable information, correct any deficiencies by adding any missing structures or paving to the Site Plan. Site Plans and Plats of Survey should be to scale.



Existing Structures:

Please note the dimensions and locations of:

1. Residence, including garage
2. Porches/stoops
3. Driveways - The width at the property line as well as the width at the widest point should be indicated.
4. Sidewalks
5. Patios or Decks - The height of the deck or patio shall be noted as measured from grade
6. Accessory structures, such as
 - Detached garages
 - Pools. Note if the pool is above ground, or in-ground, and any patios/deck surrounding it.
 - Sheds
 - Play equipment
7. A/C Units and Generators
8. Fences

Proposed Construction:

Indicate the location, setbacks from the residence and property line(s), and height.

Helpful Hints:

- A plat of survey notes the property as it existed at the time the survey was drawn. It is acceptable for you to update this plat of survey by drawing to scale any additions to the property since the plat was drawn. In addition to existing information, show the proposed work to scale.

- You can find dimensions of many structures on your property on your Plat of Survey.
- Irregular shaped structures, like patios or playground equipment, may be “boxed” as a simple way to indicate the approximate dimensions.
- Building Coverage is defined as all roofed structures (porches, garages, sheds) and any structure over 16 inches in height from grade (decks, patios, playground equipment, above ground pools).
- Lot Coverage consists of all structures included in the Building Coverage as well as any impervious surfaces (driveways, sidewalks, brick patios, etc.)

If you have any questions regarding the zoning review submission requirements, please contact the Planning and Zoning Department at (847) 359-9042.