



## COMMUNITY DEVELOPMENT DEPARTMENT

200 East Wood Street Palatine, IL 60067  
(847) 359-9042  
www.palatine.il.us

## 2026 CONCRETE HANDOUT



Express permits are exclusively available online at our  
Citizen Self Service Portal.

Please visit the link below to register and apply

<https://Citizen.palatine.il.us>

### SIDEWALK/PATIO CONSTRUCTION REQUIREMENTS:

- All residential concrete work shall comply with the 2021 International Residential Building Code and The American Concrete Institute ACI 332 standard for residential concrete.
- Contraction joints shall be formed, sawed or tooled and spaced per ACI 332.
- Slab sections defined by contraction joints shall have an aspect ratio no greater than 1.5.
- Contraction joint depth shall be a specified minimum of  $\frac{1}{4}$  the slab thickness.
- Public concrete walks shall be constructed with at least 5 inches of air entrained concrete  $f_c=3500$  psi, with a cement content per ACI 318.
- Private walks and patios shall be constructed with at least 4 inches of air entrained concrete  $f_c=3500$  psi, with a cement content per ACI 318.
- All concrete shall be placed over at least 4 inches of graded and compacted gravel base material. **No pea gravel allowed as a base material.**
- Pitch sidewalk and patio away from building. Surface water drainage may not be directed onto adjacent properties.
- Provide  $\frac{1}{2}$ " isolation joints between existing concrete foundation and patio or sidewalk. Isolation joints shall be comprised of pre-formed fiber material with flexible elastomeric sealant at the top of joint.
- Concrete patio or sidewalk shall be placed no higher than existing concrete foundation.
- Any municipal property (parkway, street, curbs, sidewalk, etc.) damaged during construction shall be repaired and is subject to a one-year maintenance period.
- If a walk or patio includes steps or a stoop with a continuous run of treads or flight with 4 or more risers, a full permit application is required. Risers may not be more than 7  $\frac{3}{4}$  inches in height and treads not less than 11 inches in depth or 10 inches with a nosing.

### DRIVEWAY CONSTRUCTION REQUIREMENTS:

- All residential concrete work shall comply with the 2021 International Residential Building Code and The American Concrete Institute ACI 332 standard for residential concrete.
- Contraction joints shall be formed, sawed or tooled and spaced per ACI 332.
- Slab sections defined by contraction joints shall have an aspect ratio no greater than 1.5.
- Contraction joint depth shall be a specified minimum of  $\frac{1}{4}$  the slab thickness.
- Concrete driveways and aprons in Village right of way (parkway) shall be constructed with at least 5 inches of air entrained concrete  $f_c=3500$  psi, with a cement content per ACI 318.
- All concrete shall be placed over at least 4 inches of graded and compacted gravel base material. **No pea gravel allowed as a base material for driveways.**
- Surface water drainage may not be directed onto adjacent properties.
- Provide  $\frac{1}{2}$ " isolation joints between existing concrete foundation and driveway. Isolation joints shall be comprised of pre-formed fiber material with flexible elastomeric sealant at the top of joint.
- The radius of the driveway at the intersection with the curb shall not exceed 7 feet.
- Any municipal property (parkway, street, curbs, sidewalk, etc.) damaged during construction shall be repaired and is subject to a one-year maintenance period.
- Any apron being replaced for addresses located on State or County roads require an IDOT or CCHD permit.
- Wire mesh is **not allowed** in the parkway (apron) or public walk area.

### GARAGE FLOOR CONSTRUCTION REQUIREMENTS:

- All residential concrete work shall comply with the 2021 International Residential Building Code and The American Concrete Institute 332 standard for residential concrete.
- Contraction joints shall be formed, sawed or tooled and spaced per ACI 332.
- Slab sections defined by contraction joints shall have an aspect ratio no greater than 1.5.
- Contraction joint depth shall be a specified minimum of  $\frac{1}{4}$  the slab thickness.
- All concrete shall be placed over **6 mil vapor barrier** on at least 4 inches of graded and compacted gravel base material. **No pea gravel allowed as a base material.**
- Concrete slab shall be sloped to garage overhead door to facilitate movement of liquids.





## COMMUNITY DEVELOPMENT DEPARTMENT

200 East Wood Street Palatine, IL 60067  
(847) 359-9042  
www.palatine.il.us

## 2026 CONCRETE HANDOUT

### FIRE PIT CONSTRUCTION REQUIREMENTS

- Built in fire pits shall be 15 feet from any combustible material. Show dimensions on plan.
- Fire pits shall have a maximum interior dimension of 3 feet and a maximum height of 2 feet. Show dimensions on plan.
- Ember screens are required. Upload a copy of proposed screening.

### CSS SUBMITTAL REQUIREMENTS:

- Upload a copy of signed contract that indicates concrete thickness, compressive strength, reinforcement size and spacing.
- Upload a copy of fully dimensioned plat of survey highlighting proposed work, concrete thickness, compressive strength, reinforcement size and spacing.
- This permit may require up to a 5-day plan review.
- The permit fee is \$103.00. The permit is good for 90 days from date of issuance.
- Contractor must be registered and bonded with the Village.

### INSPECTIONS:

- Contractor or homeowner to be on site with stamped approved "job copy"
- Schedule inspections through your CSS account.

#### The following inspections are required:

- Concrete base – when sub-base is compacted
- Final - when job is complete.

## Zoning Requirements

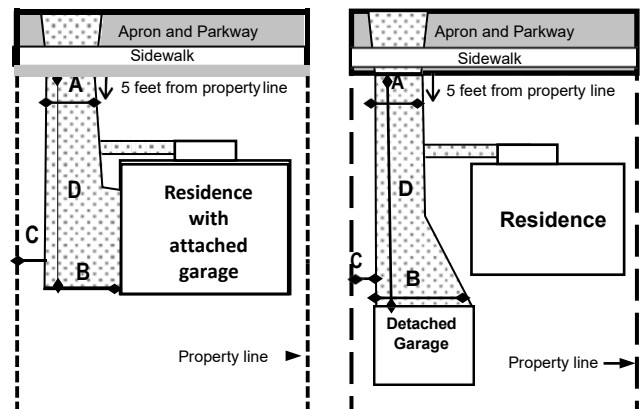
### PATIO/SIDEWALK REQUIREMENTS:

- A concrete patio and/or sidewalk if less than 16 inches in height above grade should be situated a minimum of two (2) feet from all side and rear lot lines.
- A concrete patio and/or sidewalk cannot be constructed on utility easements without the written permission of all utility companies. It should be noted that if permission is granted by the utility companies and a patio and/or sidewalk is constructed over an existing easement, the property owner is responsible for replacing the patio and/or sidewalk if damaged by utility companies gaining access.

### DRIVEWAY REQUIREMENTS:

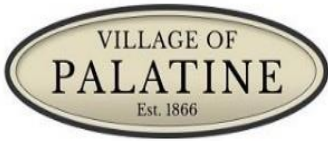
**Measurements shall be noted on the submitted Site Plan**  
(see diagrams at right and refer to notes below for example)

- Width at lot line, for a minimum distance of 5 feet.
  - Maximum of 25 ft. is permitted.
- Width at widest point.
  - Maximum 30 ft. for a two-car garage or less
  - Maximum 35 ft. for a three-car garage or greater
  - Minimum width: 9 ft.
- Side/Rear yard setback.
  - 2 ft. from interior side or interior rear lot line, except when a driveway is shared between 2 adjacent properties.
- Length of drive shall be noted on the site plan



### ADDITIONAL INFORMATION

Homeowner's Associations (HOA) may have covenants, conditions and restrictions that are more restrictive than the Village of Palatine's Zoning Ordinances. Therefore, it is the responsibility of the homeowner to acquire approval from their Homeowner's Association for any construction proposed under this building permit. The Village does not require HOA approval prior to issuing a permit.



## COMMUNITY DEVELOPMENT DEPARTMENT

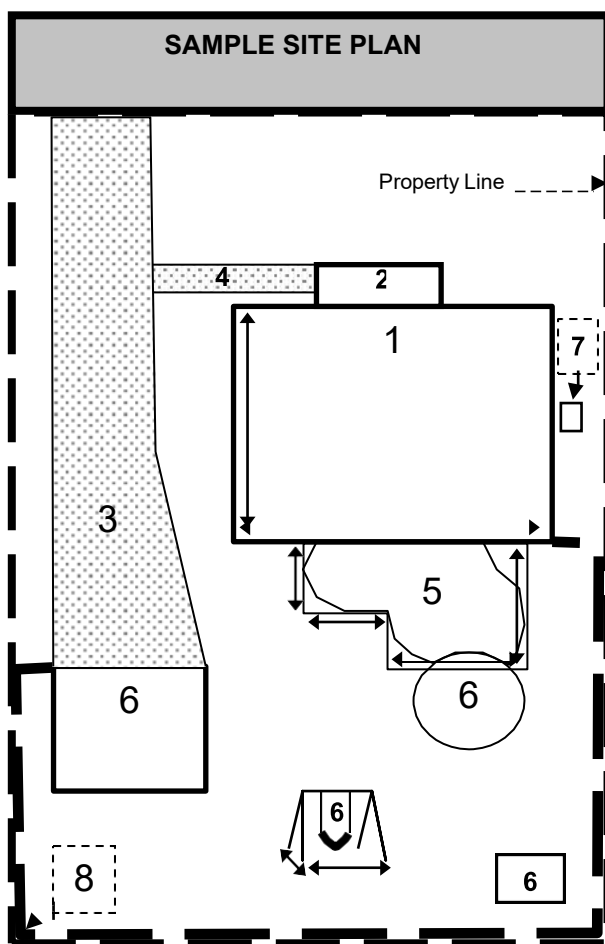
200 East Wood Street • Palatine, IL 60067-5339  
(847) 359-9042 www.palatine.il.us

## PLAT OF SURVEY REQUIREMENTS

### Submission Requirements for Zoning Review

Review by the Planning and Zoning Department is completed prior to the issuance of a permit. Zoning review checks for compliance of lot coverage and building coverage for all improvements on a parcel. Size, location (setbacks) and height of the proposed construction are also reviewed. In order for Staff to complete the zoning review, a scaled plat of survey shall be submitted with your permit application. On this plat of survey indicate the proposed construction and any additions to the property since the plat was drawn. This must be drawn to scale.

**Information for all existing structures shall be included on your Site Plan. If your Plat does not include all of the applicable information, correct any deficiencies by adding any missing structures or paving to the Site Plan. Site Plans and Plats of Survey should be to scale.**



#### Existing Structures:

Please note the dimensions and locations of:

1. Residence, including garage
2. Porches/stoops
3. Driveways - The width at the property line as well as the width at the widest point should be indicated.
4. Sidewalks
5. Patios or Decks - The height of the deck or patio shall be noted as measured from grade
6. Accessory structures, such as
  - Detached garages
  - Pools. Note if the pool is above ground, or in-ground, and any patios/deck surrounding it.
  - Sheds
  - Play equipment
7. A/C Units and Generators
8. Fences

#### Proposed Construction:

Indicate the location, setbacks from the residence and property line(s), and height.

#### Helpful Hints:

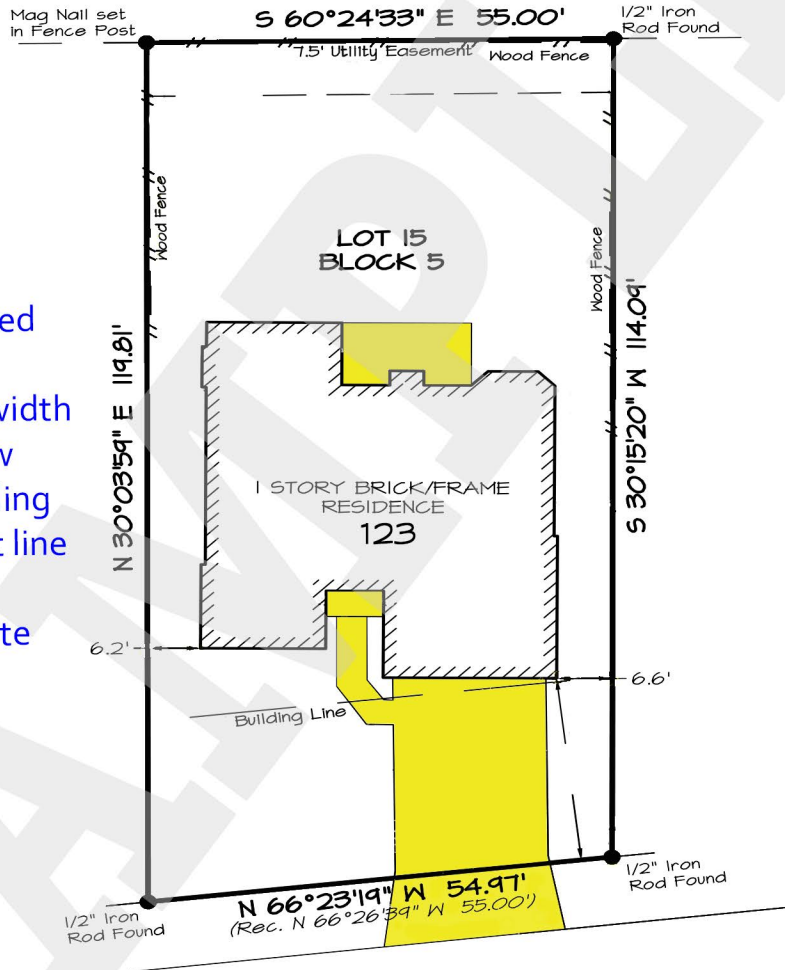
- A plat of survey notes the property as it existed at the time the survey was drawn. It is acceptable for you to update this plat of survey by drawing to scale any additions to the property since the plat was drawn. In addition to existing information, show the proposed work to scale.

- You can find dimensions of many structures on your property on your Plat of Survey.
- Irregular shaped structures, like patios or playground equipment, may be "boxed" as a simple way to indicate the approximate dimensions.
- Building Coverage is defined as all roofed structures (porches, garages, sheds) and any structure over 16 inches in height from grade (decks, patios, playground equipment, above ground pools).
- Lot Coverage consists of all structures included in the Building Coverage as well as any impervious surfaces (driveways, sidewalks, brick patios, etc.)

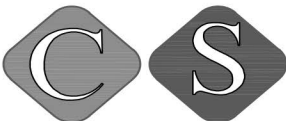
If you have any questions regarding the zoning review submission requirements, please contact the Planning and Zoning Department at (847) 359-9042.

# PLAT OF SURVEY

Survey showing LOT FIFTEEN (15), BLOCK FIVE (5), of PAINTER'S CREEK, PHASE IX, an addition in the Village of Palatine, Cook County, Illinois, according to the plat of record in Cabinet C, Slide 21-D, Plat Records of Cook County, Illinois.



(50' ROW) (Asphalt Surface)  
123 Your Street  
Cab. C, Sl. 21-D



COUNTY SURVEYING, INC.  
123 Main St.  
Palatine, IL 60067



Survey completed: 08-20-2019  
Scale: 1" = 20'  
Job No.: 190851  
Dwg No.: 190851  
Drawn by: SLW  
Surveyor: CCL # 4636  
Copyright 2019 County Surveying, Inc.



## COMMUNITY DEVELOPEMENT DEPARTMENT

200 East Wood Street □ Palatine, IL 60067-5339  
Telephone (847) 359-9042  
www.palatine.il.us

**Hold Harmless Release**

Owner Name: \_\_\_\_\_

Project Address: \_\_\_\_\_ PIN # \_\_\_\_\_

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

The Village of Palatine hereby authorizes the installation of **brick pavers, ribbon curbs, colored and/or stamped decorative asphalt, colored and/or stamped decorative concrete, and/or a lawn sprinkler system** within the public right-of-way or utility easement on or adjacent to the property identified above, subject to the following terms and conditions:

1. The installation of any of the above-mentioned improvements is undertaken at the sole risk of the property owner, with no assurances of protection or preservation by the Village of Palatine.
2. The Village of Palatine assumes no responsibility for, and shall not be held liable for, any damage, maintenance, repair, or operational concerns arising from the installation, care, or use of these improvements.
3. Village of Palatine contractors, employees, and/or utility workers shall not be responsible for any damage to the installed improvements while performing work in the designated area.
4. The property owner agrees to release, hold harmless, and indemnify the Village of Palatine, its officers, employees, agents, and commissions from any and all claims, lawsuits, liabilities, expenses, or damages that may arise in connection with the presence of these improvements within the public right-of-way or utility easement.
5. The Village of Palatine and its contractors are under no obligation to reinstall, repair, or restore any of the above-mentioned improvements if they are damaged, displaced, or removed for any reason. The property owner assumes full responsibility for all costs associated with maintenance, repair, and/or reinstallation of these improvements.
6. In the event of a sale or transfer of the property, the Village of Palatine retains all rights stated herein, and these terms shall remain in effect and binding upon any subsequent property owner.
7. Installation within a utility easement will require a letter of permission from each utility company affected prior to permit issuance.

By proceeding with the installation, the property owner acknowledges and accepts these terms in full.

### **PROPERTY OWNER'S SIGNATURE REQUIRED**

I have read the above and agree to the terms outlined therein.

Owners Signature: \_\_\_\_\_ Date: \_\_\_\_\_